

Chapter 3.50

DESIGN STANDARDS FOR SCREENING AND LANDSCAPING

*The Planning Department is assigned responsibility
for administration of these design standards.*

Section 1. OBJECTIVE

To achieve a desirable and a permanent landscape screen which will, with a minimum amount of maintenance, provide a buffer to minimize the visual effect of adjacent incompatible land uses, land uses substantially different, and similar land uses of different character, and to protect the health, safety and welfare of the general public.

Section 2. DEFINITION OF LANDSCAPE SCREEN

A visual buffer consisting of plant material, masonry, wood, other material approved by the Planning Director, and differences in land surface elevations or a combination of these elements. (Slats in a chain link fence shall not be acceptable.)

Section 3. GENERAL REQUIREMENTS

1. Where required by conditions of approval of a plat, special permit or use permit the developer shall submit to the City for review and approval, a detailed and accurately scaled plan clearly showing the location, height and design of the fence screen, earth berm or excavation and clearly showing the location and identifying the plant material in the plant material screen. A plant material list including the common name, botanical name, quantity, size and method of handling shall be shown on the plan.
2. Where screening is required by Title 27 between incompatible land uses, or around parking lots, the owner or builder of a structure or parking lot shall submit a landscape plan showing the location, height, and design of the fence screen, earth berm, or excavation and clearly showing the location and identifying the plant material in the plant material screen. A plant material list including the common name, botanical name, quantity, size, and method of handling shall be shown on the landscape plan. Such plan shall be submitted and approved prior to the issuance of a final building permit with a structure or parking lot; provided, however, limited construction as permitted by Section 106.4.1 of the Building Code, may proceed without submittal or approval of the landscape plan.
3. The opacity of the screen should be inversely proportional to the horizontal distance between the land uses and the property line to accomplish the above "objective."
4. Fences shall be installed during construction of the project or as soon as weather permits and shall be inspected and approved prior to permitting initial occupancy of the property. Plant material shall be installed within one year following completion of the development and initial

occupancy of the property unless phase development is permitted or otherwise specified by the Planning Director.

5. Screens over thirty inches (30") in height shall not be installed in the triangular open space required for sight distance for vehicles entering and exiting the property.
6. Screens shall be maintained in a neat appearance and repaired or replaced to the original state if damaged, destroyed, or in need of repair; masonry and wood fences shall be replaced within a period of thirty (30) days, or as soon as weather permits; plant material shall be replaced in the next appropriate planting season (spring or fall, depending on the particular plant material), in accordance with the approved landscape plan. If the screen is totally destroyed by an "Act of God", the replacement period may be extended with a written request approved by the Planning Director.
7. The landscape design and the selection of plant material shall:
 - (a) Allow the sun to shine on habitable buildings and recreation areas, streets, roadways, parking lots, sidewalks and other traveled ways in winter for solar heat radiation to aid in melting of the snow and ice.
 - (b) Provide shade on habitable buildings, recreation areas, streets, roadways, parking lots, sidewalks, and other traveled ways in summertime to reduce solar heat radiation to aid in the reduction of heat and glare.
 - (c) Not increase the drifting of snow onto streets, roadways, parking lots, sidewalks and other traveled ways.
8. No screening is required if the distance between the lot line and the building is less than five (5) feet.
9. Concrete and metal fences may be used in the screening of salvage and scrap processing operations. Chain link fencing may be used for security or other purposes but is not acceptable screen material with or without slats.

Section 4. PLANT MATERIAL FOR SCREENING AND LANDSCAPING

1. (a) At least one-half (1/2), except three-quarters (3/4) for salvage yards and scrap processing operations of the screen shall be coniferous or a variety of plant material that will retain its leaves through the winter months. An exception would be allowed if in conflict with paragraph 7 of the general requirements. Where the number of deciduous plants is increased to provide a year around screen the Planning Director may approve a reduction in the amount of coniferous plants or plants that retain their leaves in the winter. The branching characteristics of the plant will be considered

when considering the reduction. This reduction cannot be approved for salvage yards and scrap processing operations.

- (b) The sole use of plants to screen salvage yards and scrap processing operations is not acceptable.
- 2. A list of acceptable plant material shall be available upon request in the Office of the Planning Department. This list will specifically list the size, method of handling, and design spread diameter for each variety of plant material. However, other plant material may be used and added to the list upon meeting the requirements in subparagraph 3 below and with the approval of the Planning Director. If anyone chooses to add a plant to the list, they should submit information such as its mature spread and height, rate of growth and other information as requested by the Planning Director for consideration.
- 3. The variety of plant material used shall be reasonably:
 - (a) Free from litter and offensive odors;
 - (b) Resistant to breakage by wind and winter storms;
 - (c) Resistant to disease, insect attack and weather stresses;
 - (d) Long lived;
 - (e) Adaptable to City conditions;
 - (f) Easily transplanted and grown.
- 4. The installation of the plant material shall conform to the approved landscape plan and the general requirements of the City of Lincoln Specifications for Street Trees. These specifications shall be on file at the Planning Department, Parks and Recreation Department, Department of Building and Safety, and City Clerk. The installation may be inspected by the City.
- 5. The land owner agrees to promote vigorous growth of the required plants by performing continuous and properly timed maintenance. The maintenance responsibility consists of watering, weeding, fertilizing, controlling diseases and insects, pruning, removing the stakes and wires used to secure the plant when planting and removing and replacing unhealthy, damaged and/or dead plants. The replacement plant must be the same species, size and in the same location as shown on the approved landscape plan and planted during the next appropriate planting season. Substitute plants may be permitted by submitting a request to the Director of Planning.

Section 5 FENCE SCREENS

- 1. Shall be installed to withstand wind pressures and in accordance with the acceptable practices and the installation shall be inspected by the City as provided in Section 3, “General Requirements,” subparagraph 4.

2. Plant material may be combined along with the masonry or wood fence.
3. Fences do not need to be completely opaque.
4. The height of fences shall conform to Title 27 of the Lincoln Municipal Code.
5. Generally, fences should not slope with the ground, but should be built on level lines. (See attached sketch).
6. The color of the fences should be in the neutral range of colors.

Section 6. BERM AND EXCAVATION

1. The side slopes shall not exceed three to one (horizontal to vertical) without the use of retaining material.
2. The land surface shall be protected to prevent erosion. The means of protection shall be either (a) sodding, to be done as soon as weather permits; (b) seeding with grass if permitted, depending on erosion control measures and the steepness of the slope; or (c) planting with an approved permanent ground cover.
3. Retaining walls shall be constructed in accordance with acceptable engineering standards.

Section 7. HOW MUCH IS TO BE SCREEN AND WHERE THE SCREENS ARE TO BE LOCATED ON THE PROPERTY: (See Attached Sketch)

If plant material is used for part of the screen, the design size and shape of the plant material shall be used in computing the opacity of the screen.

7.1 Parking Lots and Parking Areas

It is the intention of the screening standards for parking lots and parking areas to provide an adequate, aesthetic visual screen of the facility while not seriously impairing observation of the lot from public ways for the sake of security.

- (a) General: The screen shall be located adjacent to the barrier surrounding the parking lot or parking area but far enough from the barrier so as to be protected from the bumpers of other vehicles.

- (b) For parking lots which are set back from the lot line, the screening requirements may be reduced in increments of ten percent (10%) of total screen for each ten feet (10') of turf between the property line and the parking lot line.
- (c) Entrance driveways shall be excluded from the required screen.
- (d) The screen shall be evenly distributed horizontally and may vary in height.
- (e) The design spread of deciduous trees may be used for one half (1/2) of the deciduous plant portion of the required screen.
- (f) The side of the parking lot adjacent to a public street shall be screened at least sixty percent (60%) from two feet (2') to four feet (4') above the surface of the lot. Fences may not be used to meet this screening requirement. When there is less than five feet (5') between the parking lot and the street, one (1) deciduous tree shall be required for parking lots less than five thousand (5,000) square feet and one (1) additional tree for each additional five thousand (5,000) square feet of parking or fraction of five thousand (5,000) square feet.
- (g) All other sides of the parking lot shall be screened at least ninety percent (90%) from two feet (2') to four feet (4') above the surface of the lot.
- (h) If plant material is used, the density percentage is calculated at plant maturity.

7.2. Mobile Home Courts and Mobile Home Subdivisions Approved by Special Permit

The screen shall be evenly distributed horizontally; however, it may vary in height as to screen at least sixty percent (60%) of the surface from the ground to a height of ten feet (10') above the adjacent ground elevation of the mobile home court and mobile home subdivision. This screen is required along each side of the mobile home court and mobile home subdivision and shall be located within the fifty foot (50') exterior open space or between the mobile homes and the exterior boundary. Entrance roadways and the required open space for sight distance associated with intersections shall be excluded from the required screen.

7.3 Community Unit Plans and Other Multiple Family Dwellings Approved by Special Permit and Planned Unit Development

The screen shall be evenly distributed horizontally: It may vary in height so as to screen at least fifty percent (50%) of the surface area of a vertical plane extending along the property line from six feet to fifteen feet (6' to 15') above the adjacent ground elevation of multiple dwelling structures, garages, maintenance buildings, etc. This screen shall be located between the structures and the adjacent property line.

7.4 Residential Lots Backing Onto Public Streets and Railroads

The screen shall be evenly distributed horizontally; however, it may vary in height so as to screen at least fifty percent (50%) of the surface area of a vertical plane extending along the

entire length of the street or railroads abutting the lots and from the ground elevation at the lot line to six feet (6') above the surface elevation of the street or railroad. This screen shall usually be located on private property rather than in the street right of way and along the lot line. Open space for sight distance associated with street intersections shall be excluded from the required screen.

7.5 Adjacent Land Uses and Zoning Districts of Substantially Different Character; B-1, B-2, B-3, H-2, H-3, H-4, B-5, O-2, I-1, I-2, Abutting Residential Districts

The screen shall be evenly distributed horizontally, however, it may vary in height so as to screen at least sixty percent (60%) of the surface area of a vertical plane extending along the entire length of the property line and from the ground elevation to a height of ten feet (10') above the adjacent ground elevation. This screen shall generally be located adjacent to the property line abutting the different uses.

7.6 Required Yards, Open Space Areas, Malls and Around Proposed Buildings in the O-3, B-2, B-5, I-2 and I-3 Districts and Churches in R-1 through R-4 Residential Districts

There shall be provided for each 10,000 square feet or fraction thereof of building coverage, four (4) trees with a design spread diameter of thirty (30') feet each or combination of trees to equal the same, and four hundred (400) square feet of shrub coverage.

7.7 Salvage and Scrap Processing Operations Approved by Special Permit or Permitted as Conditional Use

The area outside a building used for the storage of salvage material in connection with the operation of a salvage or scrap processing operation shall be screened. In addition, the area outside a building used for the storage of vehicles waiting repair in connection with the operation of a vehicle body repair shop shall be screened. The screen shall be evenly distributed horizontally. It may vary in height and openness so as to screen at least 90 percent (90%) of the surface area of a vertical plane from the ground elevation to a height of six feet (6') above the ground elevation. The screen shall be installed along the entire perimeter of the area of the salvage or scrap processing operation where salvage material or vehicles waiting repair are held outside of a building, except where such area abuts the outside storage area of another salvage or scrap processing operation screened in accordance with a landscape screen approved by the City. If such screening is ineffective because of topography of premise or surrounding area or the presence of a public street viaduct, the ninety percent (90%) screen shall be extended to the height necessary to obstruct the view of the salvage material or vehicles waiting repair. The screen below a height of six feet (6') shall be accomplished by fences or differences in land surface elevations.

7.8 Day Care Centers and Preschools Approved by Special Permit

The screen shall be evenly distributed horizontally; however, it may vary in height so as to screen at least 90 percent (90%) of the surface area of a vertical plane from the ground elevation to six feet (6') in height. The screen shall be installed along the periphery of the outdoor play area.

7.9 Broadcast Towers

Broadcast towers except those mounted on the top of existing structures:

Deciduous and coniferous evergreen trees shall be planted around the tower to screen the tower from adjacent properties, of 70 percent (70%) from the ground to eight (8) feet. Fifty percent (50%) or more of the trees should grow to a mature height of thirty-five feet (35') or more.

7.10 R.T. District Screening

The screen shall be evenly distributed horizontally; however, it may vary in height so as to screen at least sixty percent (60%) of the surface area of a vertical plane extending along the entire length of each side and rear lot line adjacent to a residential district from the ground to a height of ten feet (10') above the adjacent ground elevation. Fences may not be used to meet more than fifty percent (50%) of this screening requirement.

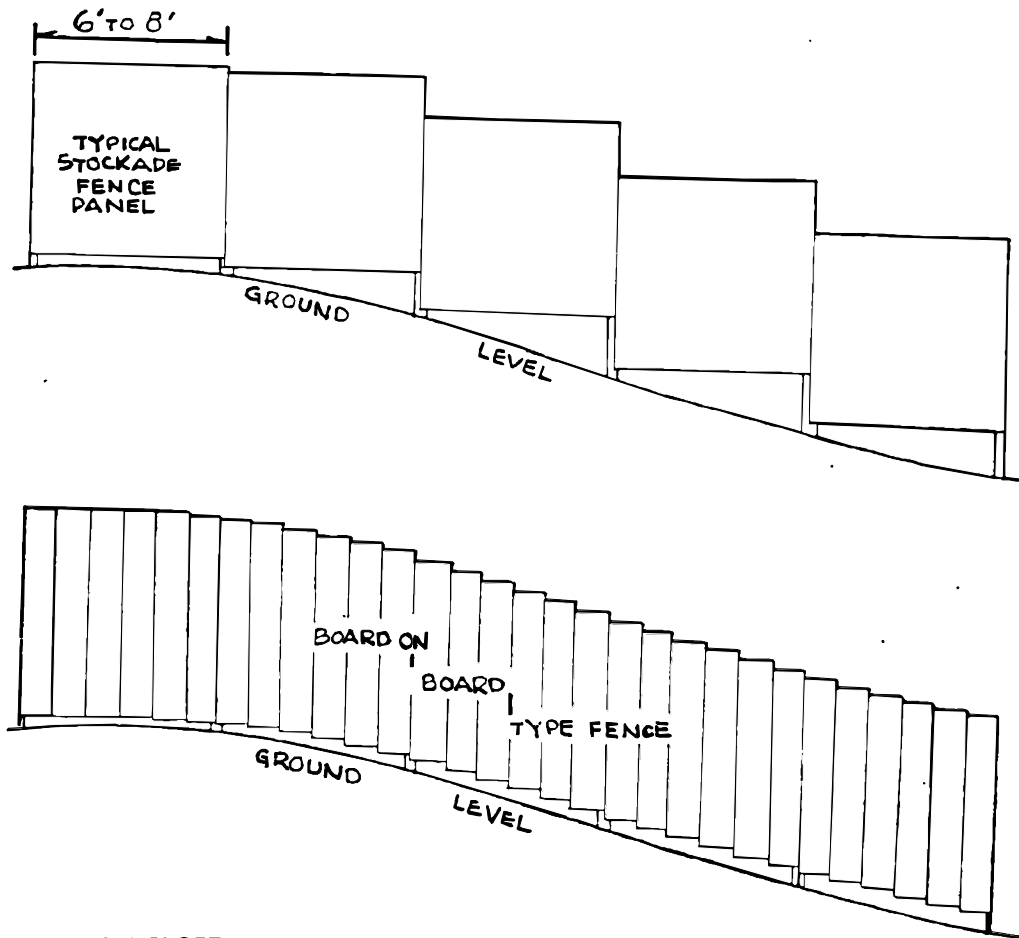
Section 8. PROCEDURES

All plans and documents required to be submitted by the developer hereunder shall be filed with the Building Official. Three (3) copies of each of a detailed and accurately scaled layout showing the resolutions shall be submitted for review and approval by the Planning Director. The Building Official shall serve as the coordinating agency for the reviews and approvals required by the various departments hereunder.

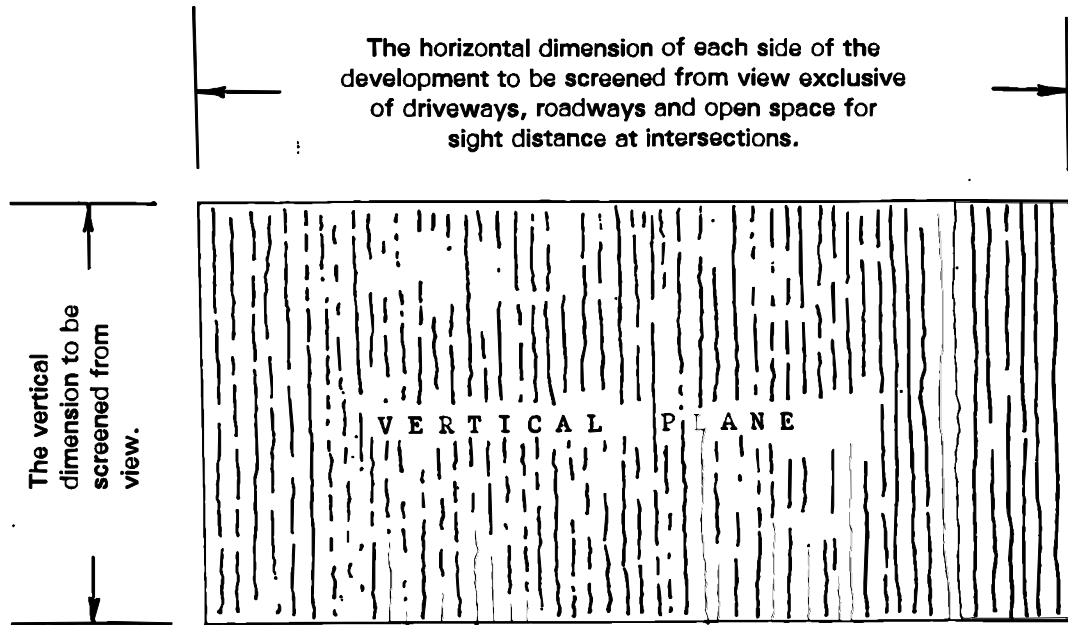
Adjustments to these standards may be made by the Director of Planning on an individual basis with written agreement from adjacent property owners accompanying the proposed screen.

Before the City issues the Certificate of Occupancy, the owner(s) shall sign an agreement to continuously maintain the required landscape screen and landscaping by performing the maintenance responsibilities described in Section 4, subparagraph (5) of these standards.

SKETCH #1



APPROXIMATE 4 TO 1 SLOPE
 $3/16" = 1"$



(Sketch indicates 100% of the vertical plane screened)

VERTICAL PLANE - vertical dimension x horizontal dimension

AREA TO BE SCREENED - vertical plane x % to be screened from view

